

C. ALAMEDA BOULEVARD DOZ REGULATIONS & GUIDELINES

The design regulations are considered a portion of the Zoning Code and are enforceable as such. Where there is a conflict between code and regulations, the more restrictive will apply. Compliance with these design regulations does not supersede the necessity of compliance with the Uniform Building Code, National Electric Code, Uniform Fire Code, or any other codes. All building projects must conform to any applicable codes as well as to the zoning and to the design regulations for the DOZ. The DOZ applies to new development, streetscape and redevelopment projects. Any development approved prior to adoption of this DOZ shall not be affected by the adoption of this DOZ unless there is a request for site plan amendment.

1. Administration:

A DOZ is established for all properties and public right-of-way within the plan area as shown in Figure 2, DOZ boundary. Regulations have the force of law. Guidelines are advisory.

No building or zoning permit pertaining to the use of land or buildings shall be issued unless the City or County Planner indicates that the proposed building, structure or use complies with all of the regulations of the DOZ.

Site development plans, plot plans, building elevations, and other items are required to obtain building permits. These will be reviewed by the City and County Planner to ensure compliance with the DOZ requirements.

Site development plans for SU-1 zoned properties shall continue to be approved by the Environmental Planning Commission (EPC). Site development plans for properties in the County with Special Use Permits (SUP) shall be approved by the Extraterritorial Land Use Authority (ELUA).

Construction plans for public right-of-way projects in the DOZ shall be reviewed by the City and County Planner to ensure compliance with the DOZ requirements.

2. Regulations and Guidelines Governing the Public Right of Way

The following design regulations and guidelines are intended to reflect a rural character in the western portions, a village center at 4th Street, and a unified high quality residential/commercial industrial campus character to the portion east of the North Diversion Channel.

Alameda Boulevard Design Overlay Zone

A. SIDEWALKS, BIKEWAYS AND TRAILS

- Sidewalks shall be designed to improve pedestrian movement as well as the overall visual quality of the corridor.

Regulations

1. Sidewalks shall be developed as a continuous system. Vehicle-free connections must be provided from all primary entries to the right-of-way as well as providing sidewalks along the right-of-way.
2. Sidewalk treatments shall be used in new construction to accentuate the basic characteristics of each Character Zone:
Character Zones 1, 3, and 4 - standard per zoning ordinance
Character Zone 2 - to accentuate the Village Center, colored concrete will be used throughout.
3. Where right-of-way is adequate, new sidewalks shall be set back a minimum of three to five feet from the curb. The setback shall be landscaped.
4. All sidewalks will comply with ADA standards.
5. In Character Zone 2 on 4th Street south of Alameda Boulevard; enhance pedestrian crosswalks with textured and colored paving to create a pleasant, safe pedestrian system which links the community services.
6. In Character Zone 2 provide bicycle links between the multi-use trail located on the south side of Alameda Boulevard and the Village Center. Include bicycle parking conveniently located to community and commercial uses.
7. Provide bridle paths wherever possible.
8. Continue the Alameda Boulevard multi-use trail (off-street) to the North Diversion Channel trail and Balloon Park.

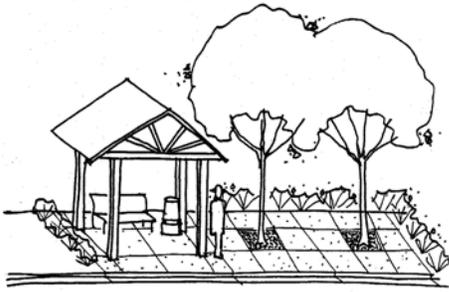
B. STREET FURNITURE/BUS STOPS/PUBLIC SIGNAGE AND LIGHTING

-Introducing street furniture in the public right-of-way will give the corridor visual coherence and enhance the pedestrian environment, particularly in the 4th Street Village Center.

Regulations

1. Alameda Boulevard public right-of-way seating, bus shelter, lamp fixtures and signs shall be similar to those shown in this ordinance and shall be located to provide greater safety and convenience to pedestrians and transit riders.
2. Combine landscaping, street furniture, public information signs, utilities and street lighting to eliminate visual clutter and to free sidewalk areas of impediments.
3. Small public art that can be appreciated at close range by pedestrians may be incorporated where space is adequate.

Alameda Boulevard Design Overlay Zone



Bus Stop



Welcome Sign at I-25 and Rio Grande

4. Bus Stops - All bus stops shall have seating and trash receptacles. New shelters shall be located in the 4th Street Village Center area.
5. Materials for benches, shelters, and trash receptacles shall be made of steel and vinyl-coated steel mesh.
6. Bus benches are only permitted on approved transit routes. Bus benches shall not contain signage and shall be located at least 6 feet from the curb. Stuccoed adobe seats built into walls may be used as an alternative to benches.
7. In Character Zone 2 pedestrian area lighting – 12'-15' foot high lighting fixtures shall be installed on Alameda Boulevard between Alameda Elementary School and 2nd Street, and on 4th Street near the intersection.
8. Information signs identifying historic areas, ditches or other landmarks shall be made of varnished and/or painted wood or metal.
9. Apply welcome statement signs to the Alameda Corridor: one at Interstate 25 and the other at Rio Grande Boulevard.
10. In Character Zone 2 the County shall consider whether overhead utilities should be removed and placed underground in the 4th Street Village Center area.

C. RIGHT-OF-WAY LANDSCAPING

Landscaping in the public right-of-way can help protect pedestrians from the confusion and traffic danger in the street while visually reinforcing the corridor's location. The North Valley area has a shallow water table and ditch network which crosses Alameda Boulevard and supports an abundance of vegetation lending a great deal to the beauty of the roadway. The eastern bench/mesa area requires plantings that are more drought tolerant. Properly designed, the roadway landscaping can provide shade and beauty.

Alameda Boulevard Design Overlay Zone

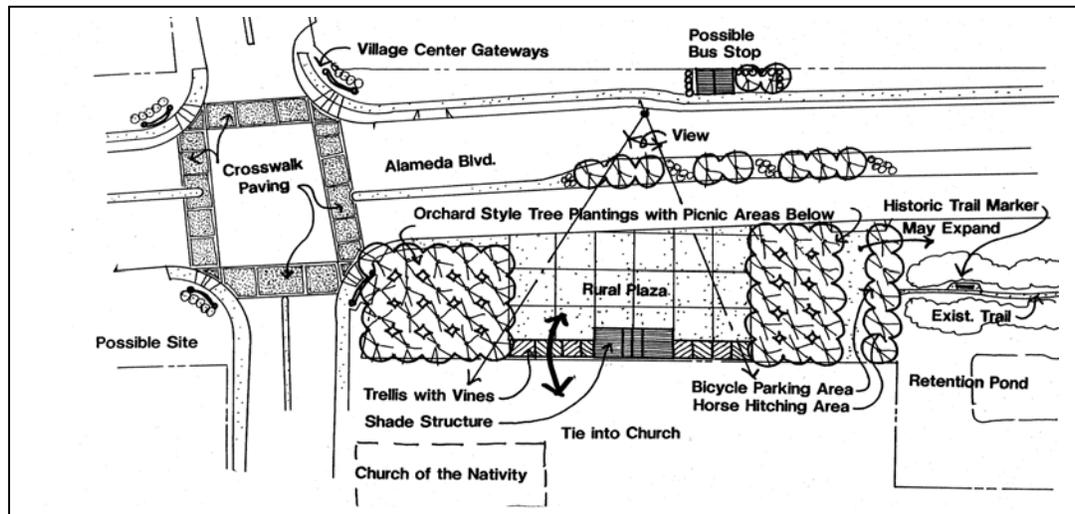
Regulations

1. Public landscaping projects shall be planted and maintained through a multi-agency memorandum of understanding. Other landscaping in the public right-of-way shall be planted and maintained by either the developer or property owner.

All landscaping plans for public projects in the public right-of-way and on other publicly owned lands shall be reviewed by a landscape architect employed by the City and/or County to ensure compliance with the DOZ regulations.

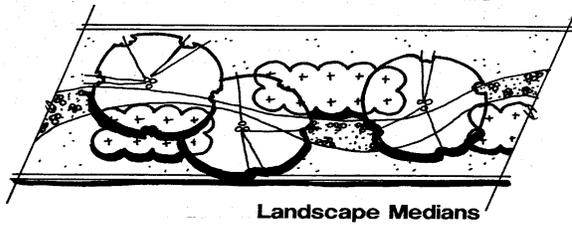
2. Character Zones 1,2, and 3 shall be landscaped with plants that imitate the forms, colors and textures of existing North Valley landscapes. Acequias and their entries shall be planted with additional trees as well. The appropriate species are identified in Appendix A.
3. To emphasize the 4th Street Village Center a more formal planting scheme shall be applied.
4. To reinforce the informal quality of plantings found in neighborhoods adjacent to the corridor, groupings of asymmetrical trees and shrubs that can filter light shall be planted in the public right-of-way in Segments 1 and 3.
5. In Character Zone 3 and the western portion of Character Zone 4, plants, trees and erosion-controlling ground cover shall be planted on the existing slopes of the channel and the windrow tree plantings shall be increased adjacent to Alameda Boulevard (north and south sides).

SAMPLE OF A VILLAGE CENTER



6. In Character Zone 4 drought resistant plant materials that can withstand reflected heat from asphalt and pavement and that can thrive in constrained spaces with little maintenance shall be used. The appropriate species are identified in Appendix A.

Alameda Boulevard Design Overlay Zone

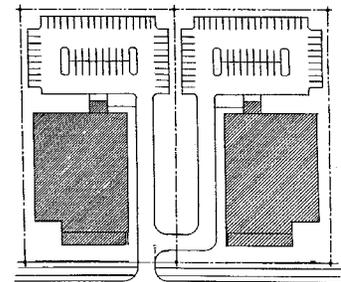


feet may not overhang the sidewalk.

9. Where right-of-way is sufficient, shrubs shall be planted between sidewalks and the boulevard to guide pedestrian movement.
10. Existing and proposed medians shall be landscaped per the above stated concepts. In areas where landscaping exists, some thinning of plants may be required.
11. When right-of-way reconstruction is programmed, water lines shall be extended to sidewalk areas, lands adjacent to highway ramps and existing medians to allow eventual landscape irrigation.

D. ACCESS

1. Consolidate curb cuts and require cross access and parking agreements for lots of 1.5 acres or less.
2. Provide pedestrian-only trails connecting Alameda Boulevard and neighborhoods along the acequias, and multi-use trails along acequia rights-of-way that are no longer used.
3. Median cuts shall be kept to a minimum.



Shared Curb Cut with Parking Behind Buildings

3. Regulations and Guidelines Governing Adjacent Private Development

The following regulations pertain to site design, signs and site lighting. The intent is to ensure that new development, redevelopment, and additions to existing structures reinforce the existing and desired attributes of the various Character Zones. Site designs shall ensure visual and functional connection to the public right-of-way while reinforcing streetscape and elements of the character zones.

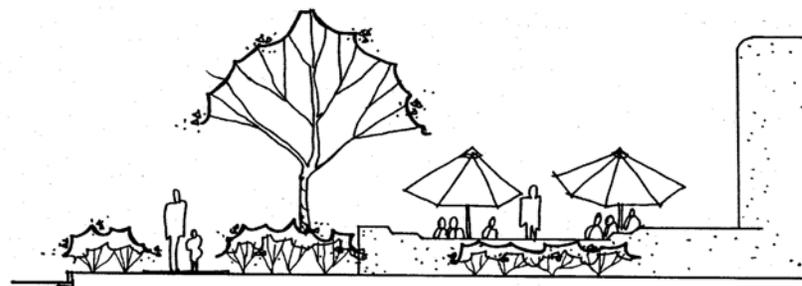
A. ARCHITECTURE

From Rio Grande to the North Diversion Channel (Character Zones 1, 2, and 3) the architecture should reflect the historic and rural character of the North Valley. This is especially true in the area that is designated the village center. For that reason the design overlay zone contains regulations that are unique. The architectural design regulations for the area east of the diversion channel are less restrictive and are directed at supporting quality development.

Alameda Boulevard Design Overlay Zone

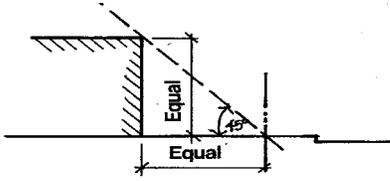
Regulations

1. In Character Zones 1, 2, and 3 all facades shall be earth-toned stucco. Earth tones shall include a spectrum of browns, not white or off-white. Other colors will be allowed as accent colors. These shall not comprise more than 10 percent of the building surface.
2. In Character Zones 1, 2, and 3 glazed areas shall be limited to 30 percent of the building surfaces they occupy.
3. Generic franchise exterior design shall not be permitted. Building design and its related materials should be innovative and contextual. In Character Zones 1, 2, and 3 franchise architecture shall be altered to incorporate unique, historic and cultural elements.
4. In Character Zones 1, 2, and 3 all visible sloping roof surfaces shall be metal.
5. All illuminated, building mounted signage shall be channelized lettering. No exposed neon is allowed for signs or building accent lighting. Building mounted signage is limited to 10 percent of the building surface on which it is located.
6. Illuminated canopies are not allowed.
7. Outside storage and display of construction equipment and materials or trucks shall be located at least behind the required streetyard. All outside storage or display of construction equipment and materials must be enclosed on all sides by a minimum six-foot-high solid wall and may not exceed the height of the required wall. The design of the wall shall be consistent with the requirements listed in the section dealing with walls and fences.
8. In Character Zones 1, 2, 3, and 4 the front setback facing Alameda Boulevard shall be 30 feet (behind the landscaped streetyard). Sideyard setbacks shall be the same as underlying zones. In Character Zones 1, 2 and 3 the front setback requirements may be reduced per a site specific design that is exceptional in its rural design character. In no case may it be less than the underlying zone.



Outdoor Dining

Alameda Boulevard Design Overlay Zone



9. In Character Zones 1, 2, and 3 building street facades shall be one story. If greater building height is desired, set back additional stories so that a line drawn from the first story roof line to the upper story roof line equals a 60 degree angle on sides of the building adjacent to the street or to residential properties. Building heights shall not exceed those allowed in underlying land use zones.

B. SIDEWALK CONNECTIONS

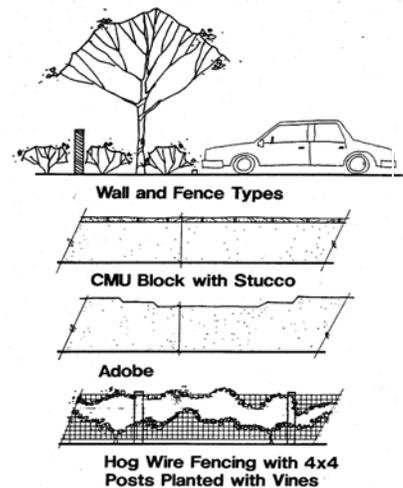
Regulations

1. Sidewalk regulations are the same as the Sidewalk Ordinance with the following additions: (1) Direct pedestrian access to commercial and office buildings must be possible from public sidewalks. (2) No driveways or parking lots paralleling Alameda Boulevard shall be located between new commercial and non-residential buildings and the public right-of-way.
2. Character Zones 2 and 3 develop distinctive connecting paths between the school, church, Alameda Community Center, new plaza area, and commercial areas.

C. WALLS AND FENCES

Regulations

1. Wall regulations in the County are as follows; within the city limits regulations are the same as Section 40C. of the Zoning Code with the following exceptions:
2. Three foot high solid walls, fences or a dense hedge located at least 6 feet from the public right-of-way shall be required on street sides of (a) off-street parking areas with five or more parking spaces, and (b) circulation areas on commercial, office and industrial sites.
3. Stuccoed walls are required for properties in Character Zones 1, 2, and 3 on Alameda Boulevard.
4. Standard unstuccoed 8-inch by 16-inch CMU block, untreated metal and chainlink fencing are not allowed as finish materials for site perimeter walls or fences.
5. Continuous solid site perimeter walls or fences over 3 feet high facing Alameda Boulevard shall contain at least one opening, recess or other form of horizontal relief every 25 feet or less to break the sense of barricade and monotony for pedestrians. Recessed areas shall be landscaped.
6. In Character Zones 1, 2, and 3 the use 4x4" upright posts with hogwire fences planted 10' on-center with grapes/vines are permitted for residential and agricultural uses only.



Alameda Boulevard Design Overlay Zone

7. Noise: Traffic and roadway noise is a nuisance to those who live and work near the corridor. Alameda Boulevard projects should be designed and constructed so that noise levels are controlled within acceptable standards.

Bernalillo County Zoning, Building and Planning Department shall review project submissions and analyze noise levels at the time of design. The department may recommend and/or coordinate noise mitigation measures that represent a reasonable balance between project expenditure and social, economical, and environmental values of the community. This can be addressed through means such as walls, fencing, landscaping or other buffering.

D. LANDSCAPING

Regulations

1. All yards facing Alameda Boulevard shall be referred to as landscaped streetyards. A thirty foot landscaped streetyard is required for all properties facing Alameda Boulevard. The streetyard is measured from the right-of-way line.
2. No vehicular circulation or parking areas other than entries may penetrate the required streetyard. Exceptions may be made for existing properties provided that there is no reasonable alternative.
3. The required patio space may be incorporated into the streetyard. The streetyard may also contain wide walkways in front of buildings, low walls, pedestrian scale lighting, bus benches and shelters, and outdoor seating for restaurants.
4. Unless designated as part of a public streetscape project, landscaping between the curb line and property line shall be the responsibility of the developer or property owner and shall contain live landscaping. Landscaping shall be maintained by the property owner.
5. On commercial and non-residential development sites the landscaped streetyards shall contain deciduous trees and any combination of plant materials listed in Appendix A of this booklet.
6. Development of mined areas shall include a plan for landscaping that addresses the edge of adjacent parcels, and views from roadway. Explanatory plaques that convey the importance of eastern Rio Grande bench quarries to the development of Albuquerque should be placed along the right-of-way.

Guideline: Highlight the Village Center with a more refined rural plaza (traditional plaza dimensions are 100' x 150') and low-water gardens. This will heighten the feeling that this is a special place. A 'churchyard' could be created by combining church land with adjacent Alameda Boulevard right-of-way on both sides of 4th Street.

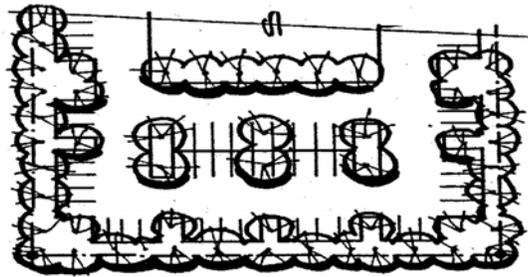
Guideline: Improve Alameda Elementary School frontage and parking lot landscaping. Provide three corners with similar landscape theme by landscaping the school in the same style as the Church and Southwestern corners.

E. OFF-STREET PARKING

Regulations

Off-street parking areas shall be designed and landscaped to minimize glare and reduce reflection and the visual impacts of cars. Parking regulations shall be the same as the Zoning Code and buffer landscaping regulations shall be the same as the Zoning Code with the following exceptions and additions:

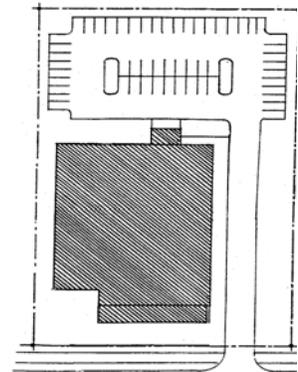
1. A minimum of 15% of each off-street parking area's ground surface shall be landscaped. The landscaping must include shade trees whose canopies form a continuous canopy of shade over the parked vehicles. The required landscaped streetyard does not contribute toward this area requirement.



Orchard Style Plantings at Parking

2. Buildings shall be separated from off-street parking areas and accessory drives with landscaping and 6' wide sidewalks.
3. The location of off-street parking for new non-residential construction shall be behind buildings away from the street. On lots less than 200 feet deep, parking may be located behind or beside new or redeveloped non-residential construction.
4. All off-street parking areas must be screened from all rights-of-way, including but not limited to Alameda Boulevard, by low walls or a continuous dense hedge.

Guideline: The Alameda Elementary School parking lot may be used for a local farmers/crafts market, fair, or free parking during summers and weekends.



Parking Behind Building

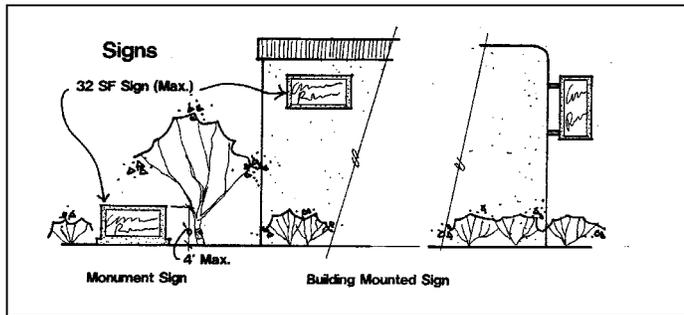
F. SIGNS

- signs shall be readable and attractive, but shall not dominate the Alameda Boulevard streetscape. Signs can be wall mounted and on-premise free standing, "monument type". No off-premise signs are allowed.

Alameda Boulevard Design Overlay Zone

Regulations:

Sign regulations for commercial and manufacturing zones within the DOZ shall be the same as those in Zoning Code with the following exceptions:



1. All freestanding signs must be monument signs with a base design that is consistent with the architecture of the building. In Character Zones 1, 2, and 3 the sign area shall be a maximum of 32 square feet and sign height a maximum 4 feet. In Character Zone 4 the sign area shall be a maximum of 48 square feet and sign height a maximum 8 feet. All heights are measured from an average along the frontage.
2. New off-premise signs are not permitted. When existing lots are developed or redeveloped existing signs shall be eliminated and the site shall come into compliance.
3. No on-premise freestanding signs containing reader-boards or changeable copy are permitted.
4. Signs which are portable, fixed on a movable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or movable vehicles, or made easily movable in any manner are not permitted.
5. Neither illuminated signs nor any illuminated elements of signs shall turn on and off or change in brightness. No sign or any part of a sign shall rotate. Except during approved Balloon Fiesta Events no temporary or permanent large inflatable signage is permitted.
6. All illuminated building mounted signage shall be channelized lettering. No exposed neon is allowed for signs or building accent lighting.
7. Awnings that contain signage or logos are considered building mounted wall signs. No internally lighted awnings are permitted, however, awnings may be lighted with pendant fixtures.
8. One wall signs permitted per facade per business provided it meets all other restrictions.
9. In Character Zones 1, 2, and 3 the maximum area for building mounted signs per sign is 50 square feet. Sign area in Character zone 4 shall not exceed 10% of the facade to which it is applied.
10. All sign designs are to be of a common, coordinated design complementing the building architecture.
11. No temporary or permanent banners are allowed.

G. SITE LIGHTING

Alameda Boulevard Design Overlay Zone

- Site lighting shall provide adequate light for safety, but shall not shine onto adjacent properties.

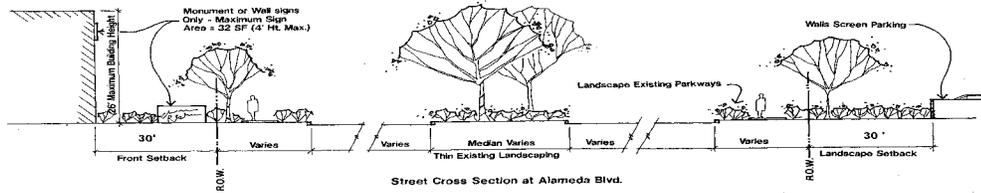
Regulations

Site lighting regulations shall be the same as the Zoning Code with the following exceptions:

1. Light sources shall be limited to a maximum off-site luminance of 1000 foot lamberts from any point and 200 foot lamberts from any residential property line; light sources shall be shielded so they are not visible from any point on residentially zoned property within 200 feet of the site property line.
2. Maximum mounting height of luminaries shall be 35 feet except in Character Zones 1, 2 and 3 and within 200 feet of a residential zone in Character Zone 4 where the height of lights on site can be no higher than the building height or 16 feet, whichever is lower. Public streetlight poles and standards are exempt from this height requirement.
3. Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candle measured 4 feet from the surface level of any point on the building surface being lighted.
4. Average light levels shall be limited to 2 foot-candle with maximum levels limited to 16 foot-candle as measured from 4 feet above the surface level of any point on the site. Such outdoor lighting fixtures shall be equipped with automatic timing devices and shall be turned off no later than 11:00 p.m.
5. Luminaries with glare cut off angles of a maximum of 75 degrees are required and these fixtures shall be equipped with automatic timing devices.
6. All outdoor light fixtures installed and maintained on property within commercial and industrial zones or under the provisions of a special use permit shall remain off between 11:00 p.m. and sunrise except for illuminating walkways, driveways and employee parking lots during operational hours.
7. All outdoor light fixtures used to illuminate walkways or driveways shall be designed, installed, and operated as cutoff light fixtures and be equipped with or their circuits controlled by light and motion sensors or automatic timing devices.
8. All outdoor light fixtures used to illuminate recreation facilities, such as ball fields, shall be equipped with automatic timing devices and shall be cutoff and focused to minimize light pollution. Such outdoor lighting fixtures shall be turned off no later than 11:00 p.m.
9. Sites which are legally non-conforming as to exterior lighting shall be required to conform to these regulations within one year.

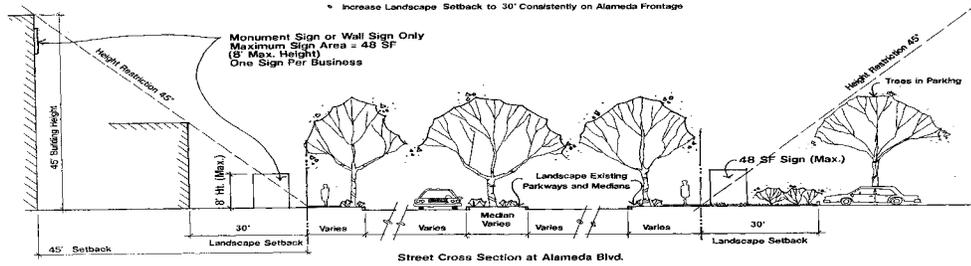
Alameda Boulevard Design Overlay Zone

- Increase Landscape setback to 30' Consistently on Alameda
- Allow Only Building Mounted Signs and Monument Signs
- Maximum Sign Size = 323SF (4' height max.)
- Require Parking to be Designed with a Maximum of 60' of Parking (2 Rows/1 Drive Aisle) Between Alameda and Building, and Encourage Less/None. Most Parking on Side/Rear of Lots.
- Screen Parking Areas with 3'Ht. Walls and Landscaping
- Require Trees in Parking Areas (1 Tree/6 Spaces)



Recommended D.O.Z. Features
Character Zone 2

- No Off-Premise or Temporary Signs
- Maximum Sign Size of 75 SF
- Require Trees in Parking Areas (1 Tree/6 Spaces)
- Require Trees in Alameda Frontage and Median
- Increase Landscape Setback to 30' Consistently on Alameda Frontage



Recommended D.O.Z. Features
Character Zone 4