

9.0 Design Overlay Zones

9.1 Paseo del Norte Design Overlay Zone

Paseo del Norte, as the most used arterial street in North Albuquerque Acres, plays a strong role in the development of the form of the Albuquerque metropolitan area. As an important transportation corridor, it deserves special design guidance. The Paseo del Norte Design Overlay Zone contains design regulations and advisory guidelines for specified critical design aspects of the area.

The purpose of the Design Overlay Zone is to provide a framework to assist developers and designers in understanding the residents' goals and objectives for high quality development in North Albuquerque Acres. The intent is to minimize the impact of commercial, office, and higher density development on existing low density residential land uses and create the visual image desired for development.

The regulations of the Design Overlay Zone apply to non-residential uses in the SD zones that are located along Paseo del Norte and Eubank Boulevard, as shown in Figure 9-1. These regulations are compatible with the Bernalillo County Comprehensive Zoning Ordinance and the North Albuquerque Acres and Sandia Heights Light Pollution Ordinance. Where there is conflict between these regulations and Bernalillo County regulations, the more restrictive shall apply.

In addition to regulations, the Design Overlay Zone contains advisory design guidelines. These guidelines are not mandatory, but their observance is encouraged in order that development might fully achieve the design potential of the area.

Design review and approval shall be by the Planning Director. Approval as to compliance with the adopted design regulations shall be certified by signature.

The Design Overlay Zone includes the following elements:

- Streetscape
- Landscape
- Setbacks
- Site Planning/Architecture
- Signage
- Lighting
- The Interface Between High Density and Low Density Uses
- Perimeter Walls

9.1.1 Streetscape

The intent of these regulations and guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create

Figure 9.1

Paseo del Norte/
North Albuquerque
Acres

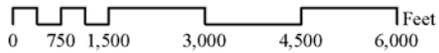
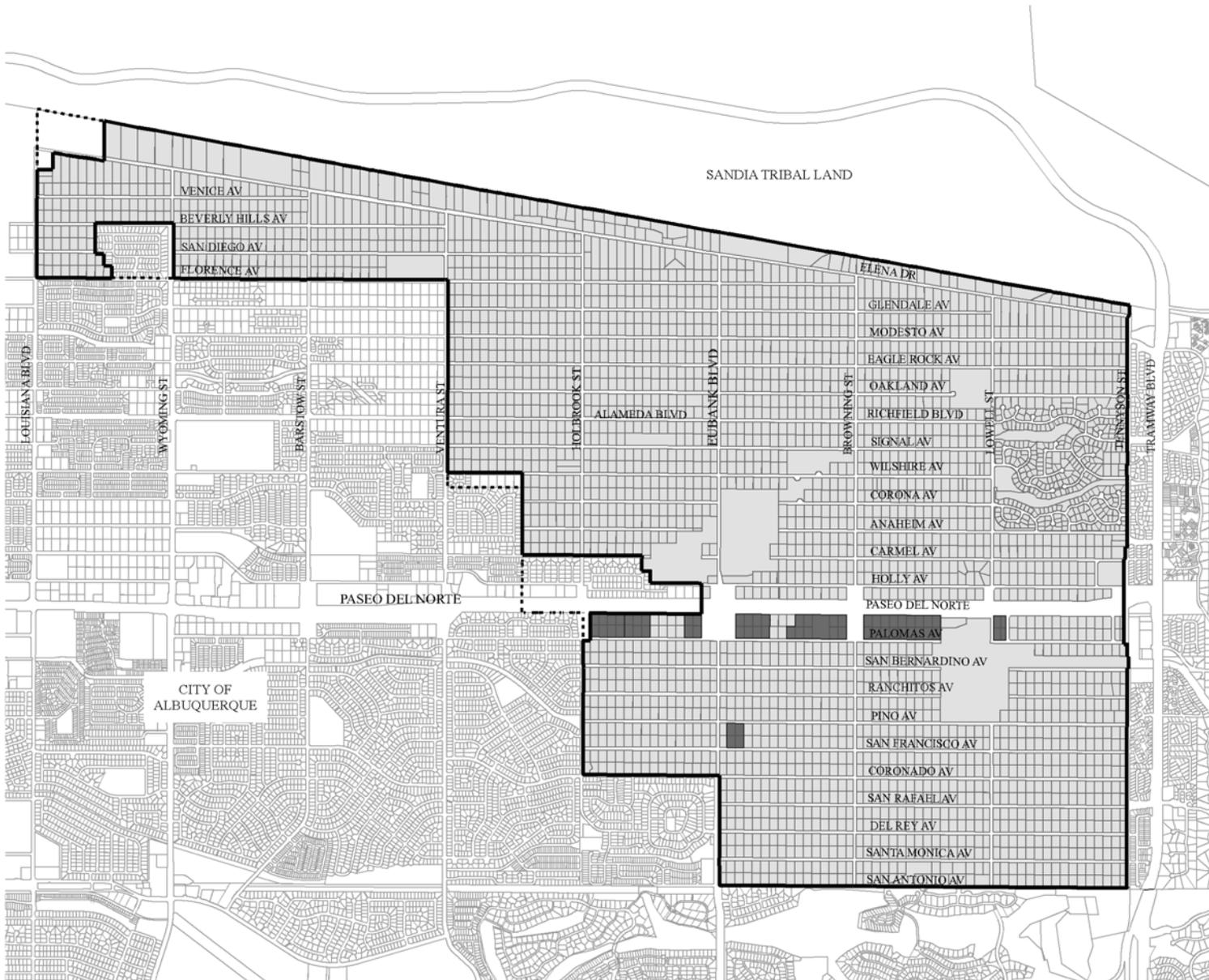
Sector Development
Plan

DESIGN
OVERLAY
ZONES

- Current Plan Boundary
- - - - Original Plan Boundary
- ◇ NAA Design Overlay Zone
- ◆ Paseo Del Norte Design Overlay Zone



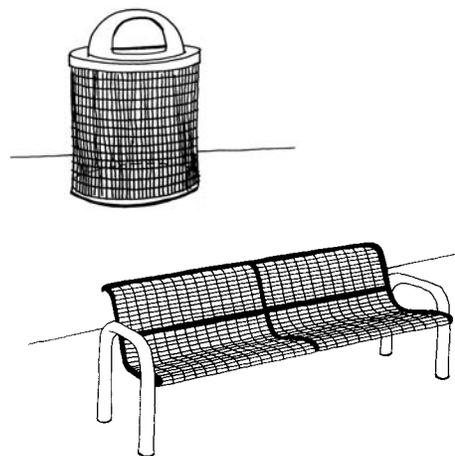
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a pleasing streetscape environment. The regulations and guidelines established in the landscape and setback sections will provide the primary means to screen objectionable views and activities.

9.1.1.1 Design Regulations

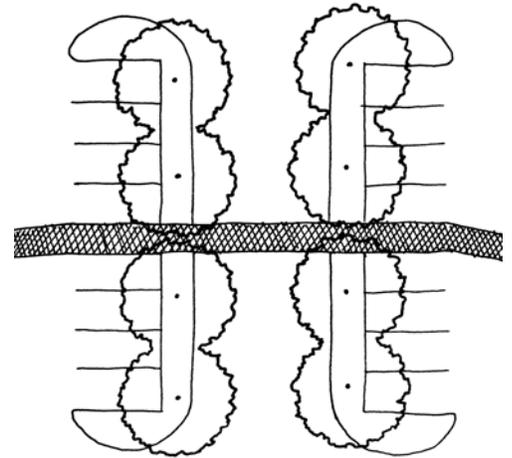
- Sidewalks shall connect the public street sidewalks, the main entrance to all businesses, transit stops on or off-site, and other building on the site. In shopping centers, clear, logical pathways must be provided to each building on the site including pad sites. The pedestrian circulation system shall also provide convenient access to adjacent residential areas. Pedestrian paths which link the entrance of the main building to streets and other buildings must be a minimum of 6' clear with shade trees planted at 25' feet in a minimum planter of 5' x 5'.
- A 15-foot sidewalk shall be provided along the entrance entry façade of the commercial, office and other non-residential buildings. A 6' clear, ADA compliant sidewalk shall be maintained, with shade structures, landscaping and seating allowed outside this area. Shading shall be provided along the façade using canopies, portals or shade trees spaced at 25 feet.
- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with signage and texture and/or colored surfaces other than asphalt. The selected paving material shall be provided at crosswalks to bring attention visually and tactilely for safe pedestrian crossing. A reliance on brightly painted striping and signage is discouraged.
- A six-foot sidewalk shall be provided along Eubank Boulevard. New sidewalks shall be designed to connect to existing pedestrian pathways.
- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the disabled.
- Parking spaces for vehicles with valid destructive registration plates for the physically disabled as provided by NMSA 1978, § 66-3-16, shall be located adjacent to pedestrian sidewalks or the building entrance.
- Where a commercial or office use abuts a residential use, a solid wall or fence 6 feet in height shall be constructed, consistent with the Bernalillo County Comprehensive Zoning Ordinance.
- Street furniture shall be located at primary outdoor activity areas and transit stops. Street furniture shall be durable and colors should blend or complement adjacent architectural elements or natural features in the area.



Street furniture should be durable and should complement adjacent architectural elements or natural features.

9.1.1.2 Advisory Guidelines

- Walls, fences, landscaping, and/or berming may be used for screening purposes. However, the intent is to keep walls and fences as low as possible while performing their screening and security functions. If walls are not required for a specific screening or security purpose, they should not be utilized.
- Pedestrian-friendly nodes should be defined along walkways with landscaping, patterned hardscaping, and street furniture such as benches, low-level light fixtures, and trash receptacles.
- The use of colored concrete, brick paving, or other decorative pavement internal to the site is encouraged.



Enhanced paving materials linking parking lots to buildings are encouraged.

9.1.2 Landscape

The landscape regulations and guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from existing and future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These regulations and guidelines are to be used as a supplement to the requirements in the Bernalillo County Comprehensive Zoning Ordinance.

9.1.2.1 Landscape Buffers

Design Regulations

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial or office and residential uses. A minimum 20-foot landscaped buffer is required between commercial or office and residential uses. This buffer is to be accommodated on the commercial or office site.
- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 30 feet on center.

9.1.2.2 Frequency of Plantings, Installation, and Size

Design Regulations

- Street trees (located within the public right-of-way and within 20 feet from the back of curb) shall be installed at a frequency of one tree per 50 linear feet of street frontage

(including driveway locations). They can either be randomly or evenly spaced. There shall be a 70:30 percent mix of deciduous to evergreen trees.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 16 parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.
- A minimum of 20 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.
- Turf grass areas shall not comprise greater than 10 percent of the landscaped area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.
- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials, excluding the tree canopy.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees: 2" caliper, or 10 to 12 feet in height
 - Shrubs and groundcovers: 1 gallon container
 - Turf grasses: capable of providing complete ground coverage within one growing season after installation.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material. Light-weight materials such as shredded bark that tend to shift during windy conditions are discouraged.
- Disturbed or manmade slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or 1/8" x 4" steel construction, or other material compatible with the landscape concept.

9.1.2.3 Suggested Plant Palette

Advisory Guidelines

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Parking Area Plant Materials

Trees

Gleditsia spp.	Honey locust varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Zelkova serrata	Japanese Zelkova

Shrubs and Groundcovers

Fallugia paradoxa	Apache Plume
Chrysothamnus nauseosus	Chamisa
*Juniperus chinensis	Juniper varieties
*Juniperus horizontalis	Juniper varieties
*Juniperus sabina	Juniper varieties
Perovskia atriplicifolia	Russian Sage
Potentilla fruticosa	Shrubby Cinquefoil
Rhus microphylla	Littleleaf Sumac
Ribes aureum	Golden Currant
Salvia greggii	Cherry Sage

*Female only if mature height is greater than 2 feet

General Use Plant Materials

Trees

Cercis occidentalis	Western Redbud
Chilopsis linearis	Desert Willow
Cupressus glabra	Arizona cypress
Crataegus phaenopyrum	Washington Hawthorn
Eleagnus augustifolia	Russian Olive
Forestiera neomexicana	New Mexico Olive
Gleditsia spp.	Honey locust varieties
Koelreuteria paniculata	Goldenrain Tree
Pinus flexilis	Limber Pine
Pinus nigra	Austrian Pine
Pinus sylvestris	Scotch Pine
Pistache chinensis	Chinese Pistache
Platanus acerifolia	London Planetree
Platanus wrightii	Arizona Sycamore
Populus fremontii	Fremont Cottonwood (male only)
Prunus spp.	Flowering Plum/Cherry varieties
Pyrus calleryana	Ornamental Pear
Quercus spp.	Oak varieties
Vitex agnus - castus	Chaste Tree
Zelkova serrata	Japanese Zelkova

Shrubs, Groundcovers, Flowers, and Vines

Abelia spp.	Abelia varieties	Mirabilis multiflora	Giant Four O'clock
Artemisia filifolia	Sand Sage	Nandina domestica spp.	Heavenly Bamboo varieties
Artemisia tridentata	Big Leaf Sage	Nepeta faassenii	Catmint
Atriplex canescens	Four-wing Saltbush	Parthenocissus inserta	Virginia Creeper
Baccharis pilularis	Dwarf Coyotebush	Perovskia atriplicifolia	Russian Sage
Berberis thunbergii	Japanese Barberry	Photinia fraseri	Photinia
Buxus spp.	Boxwood varieties	Photinia glabra	Japanese Photinia
Caesalpinia gilliesii	Bird of Paradise	Potentilla fruticosa	Shrubby Cinquefoil
Caryopteris clandonensis	Blue Mist	Pyracantha spp.	Pyracantha varieties
Chrysothamnus nauseosus	Chamisa	Raphiolepis indica	India Hawthorn
Clematis ligusticifolia	Western Virginsbower	Rhus microphylla	Littleleaf Sumac
Cotoneaster spp.	Cotoneaster varieties	Rhus trilobata	Threeleaf Sumac
Delosperma cooperi	Iceplant	Ribes aureum	Golden Currant
Echinacea purpurea	Purple Coneflower	Ribes cereum	Wax Currant
Euonymus spp.	Euonymus varieties	Rosmarinus officinalis	Rosemary
Forsythia intermedia	Forsythia	Salvia dorrii	Desert Sage
Hedera spp.	Ivy varieties	Salvia greggii	Cherry Sage
Hemorocallis spp.	Daylily varieties	Santolina chamaecyparissus	Lavender Cotton
Hibiscus syriacus	Rose of Sharon	Spartium junceum	Spanish Broom
*Juniperus chinensis spp.	Juniper varieties	Spiraea spp.	Spiraea varieties
*Juniperus horizontalis spp.	Juniper varieties	Syringa spp.	Lilac varieties
*Juniperus sabina spp.	Juniper varieties	Verbena bipinnatifida	Fern Verbena
Ligustrum japonica	Wax-leaf Privet	Verbena rigida	Verbena
Lonicera japonica halliana	Hall's Honeysuckle	Wiegela spp.	Wiegela varieties
Mahonia aquafolium	Oregon Grape	Wisteria spp.	Wisteria varieties
Mahonia repens	Creeping Mahonia		

*Female only if mature height is greater than 2 feet

Lawn Grasses

Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

9.1.3 Setbacks

9.1.3.1 Design Regulations

Parking Area Setbacks

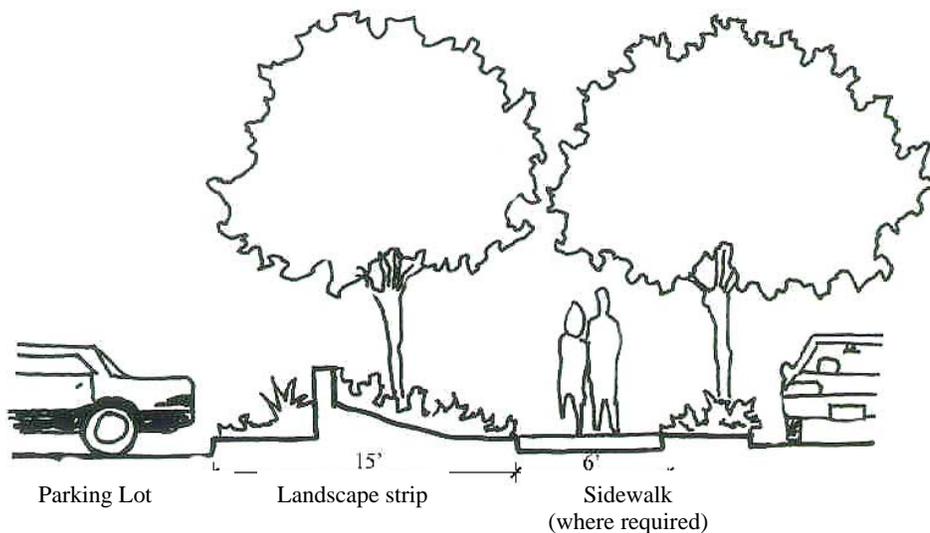
- To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be set back 15 feet from the right-of-way line of the roadway.
- The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the aesthetic appeal of North Albuquerque Acres. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping. Building entrances shall be oriented toward the street where feasible.

9.1.4 Site Planning/Architecture

9.1.4.1 *Site Planning*

Design Regulations

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.
- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 15 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Walls, fences and earth berms shall have a minimum height of 3 feet. All earth berms shall be landscaped.



Screen parking lots with a combination of plant materials, walls, and/or earthen berming

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.
- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.
- In order to encourage a pedestrian-friendly environment in North Albuquerque Acres, special attention must be paid to the relationship between buildings and streets.

Pedestrian activity is difficult where the buildings are placed in the center of the site and surrounded by parking, without pedestrian connections between the structure and the street.

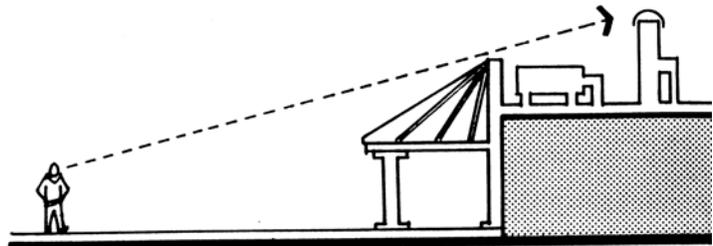
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access as described in 8.1.1.1 shall be provided to link structures to pedestrian pathways.
- Building frontage shall be oriented to the street where feasible. Entryways shall be clearly defined and linked to the pedestrian pathways.
- Expansive areas of asphalt or concrete paving in parking lots shall be avoided. Dividing the parking area into a series of smaller connected lots is preferred over one very large parking lot.

9.1.4.2 Architecture

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

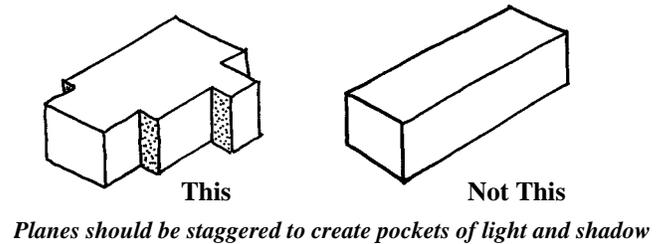
Design Regulations

- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- All rooftop equipment shall be screened from the public view. The building elements to screen such equipment shall be designed as an integral part of the building architecture. The height of all HVAC equipment shall be less than or equal to the top of any parapet or screen wall. Where a public road or other public area is elevated, rooftop equipment visible from the road must be covered.
- Dock doors at loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior. Doors shall be visually screened where possible. All loading docks shall be screened with architecturally compatible roofs and screen walls.
- Design elements that are undesirable and prohibited include:
 - Highly reflective surfaces



Rooftop equipment shall be screened from public view

- Exposed, untreated precision block walls
 - Chain link fencing, barbed wire, or razor wire
 - Attached mansard roofs on small portions of the roofline
 - Corrugated metal or metal panels
 - Illuminated roofing or awnings or fascia panels
 - Metal, vinyl, plastic fascia panels or vinyl awnings
- Building design and construction shall be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials should be applied to all exterior sides of buildings and structures.
 - Facades shall have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment. The staggering of planes should be used to create pockets of light and shadow to provide relief from monotonous expanses of building facade.



- Wireless communications facilities must be architecturally integrated with proposed buildings, structures, and landscaping through height, color, style, massing, placement, design, and shape. Free standing wireless communications facilities shall be set back a minimum of 85 feet from any residential property line.
- No generic franchise architecture is permitted. Building materials shall be contextual to their surroundings in design and materials.

9.1.5 Signage

These signage standards were developed to regulate the size, location, type, and quality of sign elements within North Albuquerque Acres. They are to be used in conjunction with the Bernalillo County Comprehensive Zoning Ordinance, Section 12: O-1 Office and Institutional Zones and Section 13: CN Neighborhood Commercial.

A properly implemented signage program will serve several important functions:

- Direct and inform residents and visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area



Signs should direct and inform visitors and should complement the visual character of the area

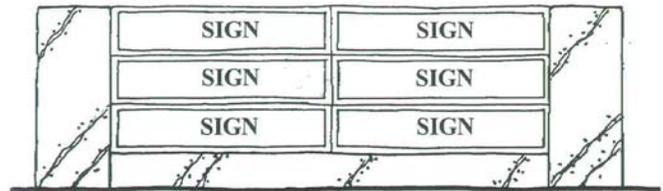
9.1.5.1 Size, Frequency, and Style

Design Regulations

- The total area of any one monument sign face shall not exceed 32 square feet. The top of the sign shall not exceed 10 feet from developed grade.

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage of 50 feet or less. No more than two free-standing, two-sided signs are allowed for any one premise with street frontage of 50 feet or more.



Monument signs are encouraged, particularly for multi-tenant commercial or office development.

- No off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps.
- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.
- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.
- Individual tenant signs within multi-tenant buildings or complexes shall consist of wall-mounted signs that are uniform in the type of construction materials used, size (12” max.), color, shape, and method to support sign. Signage painted or printed directly on the wall surface is not allowed.
- No signage is allowed that uses flashing, oscillating, occulting, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by Bernalillo County Zoning, Building, and Planning Department.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No building-mounted or free-standing signs shall face adjacent residential areas.
- Only free-standing monument style signs are permitted for multi-tenant commercial/office development.

- Illuminated signage must comply with the North Albuquerque Acres and Sandia Heights Light Pollution Ordinance.

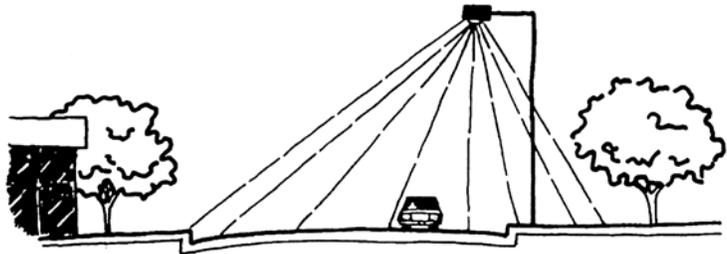
9.1.6 Lighting

In order to enhance the safety, security, and visual aesthetics of North Albuquerque Acres, careful consideration must be given to lighting design and preservation of “night sky”. The following regulations and guidelines are consistent with the North Albuquerque Acres and Sandia Heights Light Pollution Ordinance:

Design Regulations

- Area lighting shall be used to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.
- Search lights, spotlights, and floodlights are prohibited.
- All outdoor light fixtures, including canopy lighting, shall be fully shielded and equipped with automatic timing devices. There shall be no fugitive light at the property line.

- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes or to illuminate walkways, driveways, equipment yards, and parking lots.



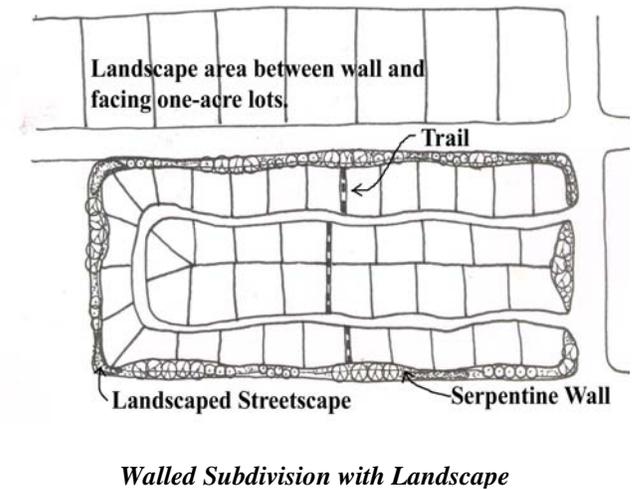
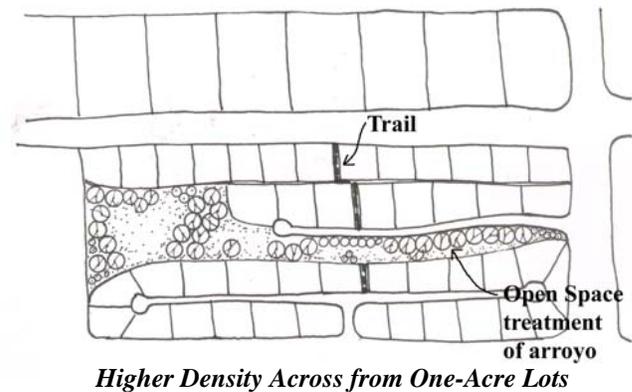
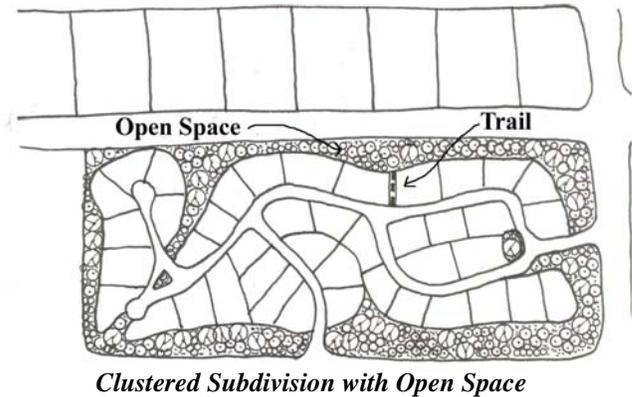
All outdoor light fixtures shall be fully shielded

- All outdoor light fixtures used for security purposes or to illuminate walkways, driveways, equipment yards, and parking lots shall be designed and operated as cutoff or semi-cutoff fixtures and shall be equipped with light and motion sensors and/or automatic timing devices.
- The maximum height of outdoor light fixtures is 20 feet, except that 16 feet is the maximum height within 100 feet of residential property.
- Harsh, white metal halide lighting shall be avoided. Soft incandescent or halogen light fixtures are encouraged.

9.1.7 Interface Between Higher Density and Low Density Residential Uses

Properties recommended for densities of four and six units per acre, as designated for sites E, F1, F2, H, I, Y, Z1, and Z2, are located across the street from single-family homes on one-acre lots. The face that these higher density developments present to the street is important to the overall quality of the neighborhoods near Paseo del Norte.

- One of the three following alternatives must be used for the interface between higher and lower density housing.
- Dwelling units could be clustered on the site so that new development is concentrated away from one-acre lots, providing an open space buffer along the street;
- New subdivisions could be designed so that homes across the street from one-acre lots face the street; or
- If a wall surrounds a subdivision, the perimeter wall should enhance the appearance of the streetscape and increase the overall appeal of the enclosed development. Specific regulations for perimeter walls are listed below.



9.1.8 Perimeter Walls

The intent of regulations for perimeter walls is to add visual interest and character to the streetscape and increase the overall appeal of a development that is surrounded by a wall. The pattern of long blocks with intersections spaced at ½ mile intervals along residential streets can result in long expanses of walls between intersections. The regulations list options for style, materials and form that will prevent walls from detracting from North Albuquerque Acres streetscapes.

9.1.8.1 Design Regulations

- Walls shall be designed to complement the architectural character of the development, subdivision or neighboring architecture by incorporating the architectural features and motifs used on adjacent homes or buildings.
- Materials such as stucco over concrete masonry units, curved interlock block, split face block, slump block, stabilized adobe, brick, tubular wrought iron, see-through masonry blocks, or a combination of those materials shall be used for perimeter walls. Indigenous styles of wood fencing, such as coyote fencing, are also allowed. Chain link fencing and razor wire are not allowed. Untreated concrete masonry units and smooth untreated masonry walls are not allowed. Masonry walls shall have a distinct cap.
- A minimum 10-foot landscaped buffer is required between a perimeter wall and the public right-of-way.
- Long expanses of unbroken walls are prohibited. Walls shall be indented, offset or in serpentine form to avoid a “tunnel” effect along residential streets. The maximum length of unbroken walls is 50’ feet.

9.1.9 Public Notice

Applicants are responsible for mailed notice to any neighborhood associations entitled to notice of zone change proposals in the City or County whose boundaries are within ¼ mile of the proposed development. In addition, the applicant must notify all owners of property within 100’ of the proposed development. The County will provide the applicant with a list of property owners and a list of County recognized neighborhood associations. If the proposed project is located within ¼ mile of the Albuquerque municipal limits, the applicant must get a list of City neighborhoods from the City of Albuquerque Office of Neighborhood Coordination. The applicant must include proof of notification by certified mail as required by the Bernalillo County Neighborhood Association Recognition and Notification Ordinance.

The following information should be provided in the notification packets:

- The street address of the subject property
- The legal description of the property, tract, unit, block and lot number(s)
- A physical description of the location, referenced to streets and existing land uses
- A description of the action being requested from the County
- A description of the project, including the types of proposed uses, architectural design, residential densities, access, parking, landscaping and buffering, utilities, grading and drainage and other features of the site development plan.

9.2 North Albuquerque Acres Design Overlay Zone

This overlay zone applies to all of the properties in the plan area that are zoned A-1. It is intended to replace Appendix B of the Bernalillo County Zoning Ordinance, which is a design overlay zone for designated properties within the North Albuquerque Acres area. The intent of the North Albuquerque Acres Design Overlay Zone is to allow for clustered residential development on parcels that are impacted by flood zones or other physical constraints that render

a portion of the property undevelopable. An overall gross density equal to that of the previously platted lots, or one unit per acre, shall be maintained.

A clustered residential development is defined as a development that sites houses on parcels of land that are smaller than the minimum lot size allowed in a residential zone, while the additional land that would have been allocated to individual lots is converted to common shared open space for the subdivision residents. Typically, road frontage, lot size, setbacks, and other traditional subdivision regulations are adjusted to permit the developer to preserve ecologically sensitive areas or other features to be preserved on the land being subdivided. In North Albuquerque Acres, clustered residential developments are one means of creating common open space along arroyos, providing for naturalistic treatments of arroyo channels, and potentially establishing a public trail system.

9.2.1 Design Regulations

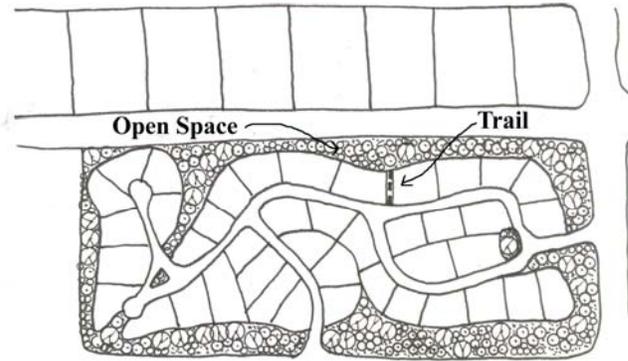
1. A minimum of five contiguous one-acre lots, or five acres, is required for a cluster development.
2. Community water and sewer service must be provided to the development
3. The minimum lot size in a cluster development is 0.5 acres. However, overall density shall not exceed that of the previously platted lots.
4. The development shall provide each lot with satisfactory access to an existing dedicated street by means of a dedicated street.
5. Any subdivision greater than twelve acres must provide pedestrian and bicycle access through the subdivision that connects as closely as possible to neighborhood amenities such as open space, schools, parks and trails. Spacing of pedestrian and bicycle access is a minimum of 660 feet.
6. Setbacks shall be the same as in the R-1 zone of the Bernalillo County Extraterritorial Zoning Code.
7. Common Open Space
 - A minimum of 30 % of the gross area of the cluster development or 100% of the area gained through lot size reductions, whichever is greater, shall be set aside as common open space. This open space must be identified on the site development plan and subdivision plat for the development. Common open space must be used for agriculture, landscaping, and/or recreation. Land used for streets, driveways, parking sidewalks, paved drainage channels, or private yards may not be counted as common open space.
 - Common open space may be composed of separate tracts but each shall have a minimum length and width of 35 feet and must be visible from a public right-of-way.

- Common open space must be accessible to residents of the development. Access to privately owned common open space may be restricted to residents of the development as long as the public’s view is maintained. Public open space must be accessible to the public and must link to existing or proposed public trails.

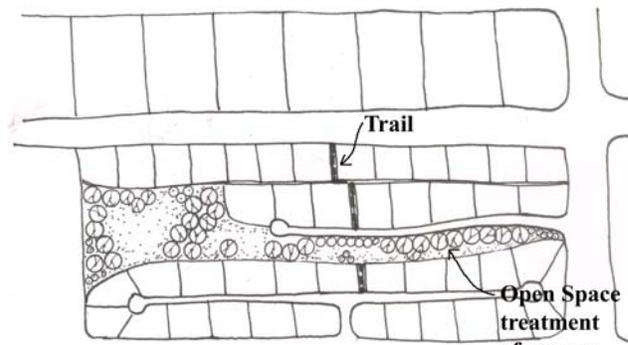
8. Perimeter Walls

If perimeter walls are used, they shall meet the following requirements:

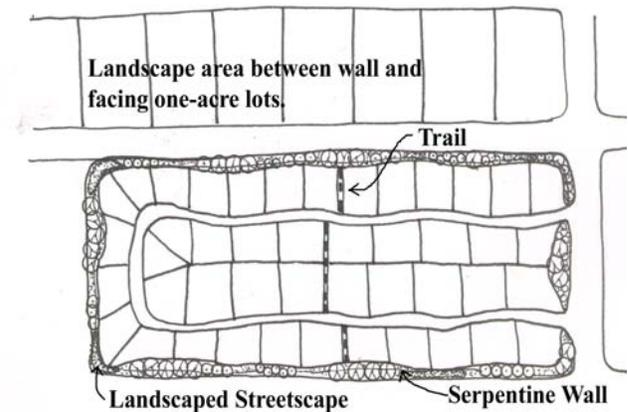
- Perimeter walls shall be designed to complement the architectural character of the development or neighboring architecture by incorporating the architectural features and motifs used on adjacent homes or buildings.
- Materials such as stucco over concrete masonry units, curved interlock block, split face block, slump block, stabilized adobe, brick, tubular wrought iron, see-through masonry blocks or a combination of those materials shall be used for perimeter walls. Wood fencing such as coyote fencing are also allowed. Chain link fencing and untreated concrete masonry units are not allowed. Masonry walls shall have a distinct cap.
- If common open space is fenced, transparent materials such as tubular wrought iron must be used to preserve public views of the open space.
- Long expanses of unbroken walls are prohibited. Walls shall be indented, offset or in serpentine form to avoid a “tunnel” effect along residential streets.



Clustered Subdivision with Open Space



Higher Density Lots Across from One-Acre Lots



Walled Subdivision with Landscape

9. Compatibility with Surrounding Residences

- Cluster developments will be integrated into areas of single-family homes on one-acre lots. These developments must be designed so that they are compatible with surrounding

development. Three alternative approaches to edge treatments are recommended to ensure that cluster developments blend with their surroundings. The appropriate approach will depend upon the physical characteristics of the site and the characteristics of surrounding development.

- Dwelling units could be clustered on the site so that an open space buffer is provided between the cluster development and one-acre lots.
- New subdivisions could be designed so that larger lots front external streets, with smaller lots internal to the subdivision.
- Landscape buffers on the outside of perimeter walls may be used to soften the visual impact of walls on adjacent properties.

9.2.2 Process for Requesting a Cluster Development

1. A request for a cluster development use shall be as a Special Use Permit for a Planned Development Area. The process for this application shall follow the provisions of the Zoning Ordinance.
2. The developer shall submit a site development plan that meets the design criteria not only for a Special Use Permit for a Planned Development Area but also for this Design Overlay Zone.
3. Common open space must be set aside by the developer through an easement or separate parcel conveyed to a homeowners association or other legal entity responsible for its maintenance. The easement or plat will specify the responsibilities of the party or parties who will maintain the easement or open space parcel. In no case will the County have responsibility for maintenance of privately owned common open space. If the responsible party or parties fail to meet the maintenance obligations set forth in the easement or plat, the County has the authority to perform such maintenance as necessary to protect public health and safety and assess the responsible party or parties for the cost. Failure to pay assessed charges may result in a lien against each of the individual lots in the development.
4. The developer may request that the County accept all or part of the common open space as public open space or as a public trail. The process for conveying common open space to the County shall follow current policy for park or open space dedication. County acceptance of open space for maintenance eliminates the need for private maintenance responsibility.